

Item No 02:-

17/04749/FUL

**Stow Agricultural Services
Lower Swell Road
Stow-On-The-Wold
Cheltenham
Gloucestershire
GL54 1LD**

Item No 02:-**Demolition of existing buildings and the erection of 7 residential dwellings at Stow Agricultural Services Lower Swell Road Stow-On-The-Wold Gloucestershire GL54 1LD**

Full Application 17/04749/FUL	
Applicant:	Investdev Ltd
Agent:	Hunter Page Planning Ltd
Case Officer:	Adrian Walker
Ward Member(s):	Councillor Dilys Neill
Committee Date:	14th March 2018
RECOMMENDATION:	PERMIT

Main Issues:

- (a) Principle of development
- (b) Design and Impact on Character and Appearance of the Historic Environment and the Cotswolds Area of Outstanding Natural Beauty
- (c) Impact on Residential Amenity
- (d) Highways, Access and Parking
- (e) Biodiversity
- (f) Landscaping

Reasons for Referral:

Cllr Neill has concerns about the inadequate parking which could lead to parking on the highway. There are also concerns about design and scale of the development.

1. Site Description:

The site comprises of a former industrial building and yard area on the southern side of Swell Road in Stow-on-the-Wold. The site is located within the Cotswolds Area of Outstanding Natural Beauty (AONB) and the Stow-on-the-Wold Conservation Area boundary runs along the edge of 'Crestow House', approximately 23m to the east. The Unicorn Hotel, which is a Grade II Listed Building, is located at the Junction of Swell Road with Fosse Way. The site falls within the Development Boundary for Stow-on-the-Wold as designated in the Cotswold District Local Plan 2001-2011.

2. Relevant Planning History:

14/00188/FUL: Demolition of existing buildings and erection of 13 two-bedroom apartments; provision of communal facilities, landscaping and car parking. Allowed at appeal 28.07.2016

3. Planning Policies:

National Planning Policy Statement

- Policy 15 - Conservation Areas
- Policy 18 - Development within Development Boundaries
- Policy 24 - Employment Uses
- Policy 25 - Vitality and Viability of Settlements
- Policy 38 - Accessibility to and within New Development

Policy 39 - Parking Provision
 Policy 42 - Cotswold District Design Code
 Policy 45 - Landscaping in New Development
 Policy 46 - Privacy and Gardens in Residential Development

NOTE: In assessing this application regard has been made to the emerging policies set out within the Cotswold District Local Plan 2011-2031: Main Modifications (July 2017). This document is in the process of being independently examined and has not been adopted. Therefore the policies do not carry full weight at the present time.

4. Observations of Consultees:

Biodiversity Officer: No objection subject to conditions.

Environmental Health Officer: No objection subject to conditions.

Conservation Officer: No objection subject to conditions.

Tree Officer: No objection.

Landscape Officer: No objection subject to conditions.

GCC Highways Officer: No objection subject to conditions.

5. View of Town/Parish Council:

Swell Parish Council objects to the application on the following grounds;

- (i) Design
- (ii) Highways, access and parking
- (ii) Overdevelopment
- (iv) Loss of industrial site

Stow on the Wold Town Council objects to the application on the following grounds;

- (i) Design
- (ii) Highways, access and parking
- (iii) Overdevelopment
- (iv) Loss of industrial site

6. Other Representations:

Two representations of support for the application have been received on the following grounds;

- (i) Design (sympathetic, small development, in keeping with the surrounding area)

One representation neither objecting nor supporting the application has been received on the following grounds;

- (i) Highway access and parking (Transport Assessment omits local knowledge)

Six local residents have objected to the application on the following grounds;

- (i) Design (buildings too close to the road, height, massing, overbearing appearance, detailing)
- (ii) Highways, access and parking (lack of parking, encouraging parking on Lower Swell Road, highways safety, inaccurate data in Transport Assessment)
- (iii) Overdevelopment (number of proposed units, height)
- (iv) Loss of industrial site

- (v) Impact on the Conservation Area
- (vi) Amenity (separation distances between dwellings)
- (vii) Privacy, light, and noise
- (viii) Trees and landscaping

7. Applicant's Supporting Information:

Contamination Report
 Design and Access Statement
 Drainage Report
 Ecological Assessment
 Heritage Impact Assessment
 Planning Statement
 Transport Statement
 Utilities Statement

8. Officer's Assessment:

(a) Principle of development

The proposal involves the demolition of the existing buildings on the site and the creation of 7 new dwellings, consisting of 2 two-bed dwellings, 3 three-bed dwellings and 2 four-bed dwellings together with associated car parking, infrastructure and landscaping. The applicant has sought to follow a traditional design approach and has proposed a mix of natural stone for the walling and reconstituted stone slate for the roofing.

The previous planning permission (which remains extant until 28.07.2019) for 13 retirement apartments (ref. 14/00188/FUL) is a material consideration in the assessment of this proposal. However, there are major differences in design and dwelling-type and these differences need to be assessed on their own merits.

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states that: 'If regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise.' The starting point for the determination of this application is therefore the current development plan for the District which is the Cotswold District Local Plan 2001-2011 (existing Local Plan).

The site in question is located within the Stow-on-the-Wold Development Boundary as designated in the existing Local Plan. Development on the site is therefore primarily subject to Policy 18 (Development within Development Boundaries of Cirencester and the Principal Settlements) which allows for this form of development in principle, subject to the following criteria:

Within the Development Boundaries indicated on the Proposals Map insets, applications for development will be permitted provided that the following criteria are met:

- (a) In the case of residential development, the number of dwellings proposed is commensurate with the level of community facilities, infrastructure, public transport, services and employment available within the settlement;
- (b) wherever practicable and where it is compatible with the surrounding area, residential development should achieve a density of 30 or more dwellings per hectare;
- (c) the siting, appearance and scale of the development respects the surrounding countryside, topography, and the traditional form, character, appearance and setting of the settlement, and would cause no significant adverse environmental or visual harm to the site or its surroundings; and
- (d) the development would not materially harm any of the key characteristics of an open space indicated on the proposals map insets, or otherwise harm the open character of a settlement by limiting or closing important views, or infilling gaps, spaces or other breaks

in development, which, individually or collectively, make a positive contribution to the settlement's overall appearance or setting.

The NPPF is also a material consideration in the determination of this application and has at its heart a 'presumption in favour of sustainable development'. It states that 'there are three dimensions to sustainable development: economic, social and environmental. These dimensions give rise to the need for the planning system to perform a number of roles'. These are firstly an economic role, whereby it supports growth and innovation and contributes to a strong, responsive and competitive economy, secondly a social one, where it supports 'strong, vibrant and healthy communities by providing the supply of housing required to meet the needs of present and future generations' and thirdly an environmental one where it contributes to protecting and enhancing the natural, built and historic environment.

Paragraph 8 of the NPPF states that the three 'roles should not be undertaken in isolation, because they are mutually dependent'. It goes on to state that the 'planning system should play an active role in guiding development to sustainable solutions.'

The proposal involves creation of seven new dwellings on a site area of 0.18 hectares which equates to 39 dwellings per hectare.

In terms of the sustainability of the location, Stow-on-the-Wold enjoys a high level of service provision and the majority of these services are within easy walking or cycling distance from the site. This reduces the reliance on the use of the private car, which is advocated by the NPPF as a fundamental way of ensuring development is sustainable.

The site is a former industrial works and in this respect it can be considered previously developed (brownfield) land. One of the core planning principles in the NPPF is to encourage the effective use of land by reusing land that has been previously developed, provided that it is not of high environmental value. Although the site is located within the Cotswolds Area of Outstanding Natural Beauty (AONB), this particular site is considered not to be of environmental value due to its former industrial use. The fact that the site is previously developed land weighs in favour of the proposal.

The principle of the acceptability of the site for residential use has been clearly established by the 2016 decision.

In addition to the above, it is relevant that the adoption of the emerging Cotswold District Local Plan 2011-2031 is progressing and Policy DS2 is the applicable policy which relates to development within development boundaries. This policy states:

"Within the Development Boundaries indicated on the Policies Maps, applications for development will be permissible in principle."

The NPPF and Policy 24 of the Local Plan seek to protect existing employment uses and promote economic growth. Policy 24 specifically seeks to protect Use Class B1 and B2 sites but not B8 uses. The former use of this site for storage and distribution (Use Class B8) is therefore not protected under Policy 24, and neither is the site allocated for employment use or forms part of a main employment area.

Emerging Local Plan Policy EC2, however, requires existing established employment sites to be retained for B Class employment uses unless there is no reasonable prospect of the site being used for employment purposes. Objections have been raised in regards to the loss of the industrial use on the site. Given that the previous occupier has relocated to a larger, purpose built premises on Longborough Industrial Estate and the principle established by the extant planning permission for 13 apartments (ref. 14/00188/FUL), it is considered that the loss of employment/industrial use can be justified.

Furthermore, the proposal would contribute towards one of the NPPF's principal aims of boosting the supply of housing. Having regard to the principles of Policy 18, emerging Policy DS2 and the NPPF, the proposal to develop the site for residential purposes is acceptable in principle. However, there are other material considerations that need to be taken into account, which will be looked at in the following sections of this report.

(b) Design and Impact on Character and Appearance of the Historic Environment and the Cotswolds Area of Outstanding Natural Beauty

The application site is located within the Cotswolds Area of Outstanding Natural Beauty (AONB). Paragraph 17 of the NPPF states that planning should recognise 'the intrinsic character and beauty of the countryside'. Paragraph 109 states that the planning system should contribute to and enhance the natural and local environment by 'protecting and enhancing valued landscapes'. Section 85 of the Countryside and Rights of Way (CROW) Act 2000 states that relevant authorities have a statutory duty to conserve and enhance the natural beauty of the AONB.

Paragraph 115 NPPF states that 'great weight should be given to conserving landscape and scenic beauty in ... Areas of Outstanding Natural Beauty' and paragraph 116 states 'that planning permission should be refused for major developments in AONBs except in exceptional circumstance'. Paragraph 115 also states that 'The conservation of wildlife and cultural heritage are important considerations in all these areas'.

The conservation area boundary lies approximately 23m to the east of the application site, whilst the garden to Crestow House, considered to be a non-designated heritage asset, shares a boundary with the application site. In addition, the Unicorn Hotel, a grade II listed building, is located approximately 70m to the east of the application site.

Section 66(1) of the Planning (Listed Building and Conservation Areas) Act 1990 states that when considering whether to grant planning permission for development which affects a listed building or its setting, the Local Planning Authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

Section 72(1) of the aforementioned legislation states that the Local Planning Authority is statutorily obliged to pay special attention to the desirability of preserving or enhancing the character or appearance of Conservation Areas.

Paragraph 131 of the NPPF states 'in determining planning applications, local planning authorities should take account of; the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;' and 'the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and the desirability of new development making a positive contribution to local character and distinctiveness.'

Paragraph 132 states that 'when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting.'

Paragraph 134 states that 'where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.'

Policy 15 (Conservation Areas) of the existing Local Plan states that development within or affecting a conservation area must preserve or enhance the character or appearance of the area as a whole, or any part of that area. Development will not be permitted if it involves: new or altered buildings that are out-of-keeping with the special character or appearance of the area in

general or in a particular location (in siting, scale, form, proportions, design or materials); or there would be the loss of open spaces that make a valuable contribution. It also states that new dwellings or other substantial structures (especially those covering more than one plot) are unlikely to be acceptable.

Policy 42 (Cotswold District Design Code) of the existing Local Plan states that development must respect the character, appearance and local distinctiveness of the Cotswold District with regard to style, setting, harmony, street scene, proportion, simplicity, materials and craftsmanship. The detailed design, materials and layout of buildings and structures must be appropriate to their setting and the character of the surrounding area. This is also reflected in Policy EN2 of the emerging Local Plan.

The current proposal is the result of extensive consultation, including substantial amendments, in response to the Conservation Officer's advice. In terms of the design of the dwellings, the seven vernacular style houses in a row of terraces lining Lower Swell Road with a pair of semi-detached behind, is considered acceptable. The simple design and massing which steps down along the street frontage proposed is welcomed. The terraces look convincing as runs of cottages, with suitable chimney placement, traditional dormers and a typical vernacular gable depth. The fenestration is well resolved and there is no objection to the canopy porch design.

The current material pallet of natural Cotswold stone walling with reconstituted slate tiles laid in diminishing courses and timber windows is considered appropriate.

It is considered the proposed design, form, proportions and use of materials would respect the character and appearance of the application site, AONB and neighbouring Conservation Area. The proposed works are considered to accord with the objectives of Cotswold District Local Plan Policies 15, 42, and the design considerations contained in and guidance the NPPF. The equivalent emerging Local Plan Policies are broadly consistent with the current policies.

(c) Impact on Residential Amenity

Paragraph 17 of the NPPF states that planning should "always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings".

Cotswold District Local Plan Policy 46 (Residential Amenity) states that the design and layout of new residential development, including extensions to existing dwellings should provide adequate areas of open space around dwellings, so as to ensure reasonable privacy, daylight and adequate private outdoor living space.

All seven dwellings have minimal front gardens and the two and three-bed units have small rear gardens, but the larger four-bed houses have more substantial gardens which are all considered acceptable and proportionate to the size of the dwellings.

The application site is bounded by open countryside to the south and a telephone exchange to the west. The closest neighbour is Crestow House located in an elevated position to the east of the site. The application proposes no windows in elevations that would give rise to overlooking and the proposed buildings are located in a manner that would not result in any loss of daylight to this property.

Concerns have been raised about the amenity of the future residents in regards to separation distances and overlooking. The closest relationship between facing windows would be between plots 1 and 2, and plot 6 which would be approximately 13 metres. This distance is considered acceptable as distances such of this are commonly found between facing dwellings across streets. An example of this can be seen on Sheep Street 50 metres from the application site.

Due to the design, location, and proximity to neighbouring residents, it is not considered to result in harm to the amenity of neighbouring or future residents in accordance with the guidance contained within NPPF paragraph 17 and Local Plan Policy 46.

(d) Highways, Access and Parking

Section 4 of the NPPF advocates sustainable transport, including safe and suitable accesses to all sites for all people. However, it also makes it clear that development should only be prevented or refused on highway safety grounds where the residual cumulative impacts of that development are severe. Local Plan Policy 38 also seeks to ensure sustainable and safe access to new development. Policy 39 seeks to secure vehicle parking that takes account of the proposed use, its scale and location, its existing and potential accessibility by walking, cycling and public transport, and the proximity and capacity of any existing off-street public parking. The main objection raised by local residents in regards to the proposals has been on highways, access and parking grounds.

The site is considered accessible, as established by the 2016 Appeal decision, with access to high quality public transport services within walking and cycling distance of all facilities. The nearest bus stop provision is located 170m to the east of the proposed development site on Sheep Street. The service numbers available are 802, 803, 819, B, V2, V12 which service the local area and Burton-On-The-Water, providing a sustainable transport method to a number of employment areas as well as further regional and national sustainable transport options.

Access to the site would be gained via a Priority T-junction with 4.5m corner radii on entry/exit. A shared surface arrangement will then facilitate pedestrian movements within the layout.

Gloucestershire County Council as the Highways Authority have examined the application and raised no objections subject to conditions.

The submitted plan ref: 17-00527-SPA01 rev A, demonstrates a 4.8m carriageway width with a 2m pedestrian footway either side and turning facility, providing two way working and manoeuvrability throughout the site confirmed by swept path analysis. The plan also demonstrates cycle/bin store area, (refuse collection will take place from Lower Spell Road), which is within the required distance as stated in Manual For Streets 6.8.9.

As the Lower Swell Road is subject to a 30mph speed limit, the requirements deemed to satisfy visibility standards require emerging visibility splays of 54m in both directions with a setback of 2.4m. The submitted supporting drawing (ref. RP-010-05) displays that the applicant can satisfactorily achieve the required visibility in both directions from the proposed access. The applicant has therefore demonstrated that required emerging visibility is achievable commensurate with the 85th percentile speed. The applicant would be required to ensure the visibility splays are maintained clear of obstruction by condition.

The proposed development would generate approximately 35 daily trips, with 2.8 trips occurring per peak hour. However, the extant land use of the site (builders yard), when operating to full capacity, would generate more vehicle movements than the proposed. The extant land use will generate larger vehicles, and therefore it is considered that there will be an overall benefit to the area in terms of the amount and type of vehicle trips. Due to the adequate levels of visibility, adequate levels of parking, manoeuvring space and the nature of the adjacent highway, this would not be considered to cause a detrimental impact on the highway.

The submitted plans demonstrate that there is sufficient space to provide adequate width to accommodate the required access arrangement for all types of vehicles.

The application proposes 7 garages and 6 parking spaces making a provision for 13 vehicles. It is considered that 10 of the spaces would be allocated with 3 spaces unallocated. Gloucestershire County Council has assessed the parking provision and concluded that it is adequate for the proposed development, supplying sufficient room to accommodate the expected vehicles and to ensure that they enter and leave the site in forward gear. The submitted vehicle tracking swept path analysis demonstrates that a large estate car can access/egress and manoeuvre within the site via turning facilities without conflict. The tracking also demonstrates that two-way passing can be provided throughout the site layout without conflict for users.

It is noted from the submitted Transport Statement that a review of the census 2011 data for the Cotswold area shows that there are 55,552 cars and 36,236 households. The prevailing ratio is therefore 1.53 cars per dwelling. Based on the proposed on-site parking spaces, the proposed parking ratio is 1.85 dwelling which is considered acceptable. The Manual for Gloucestershire Streets chapter 9 paragraph 9.50 states that an additional provision of well-designed and legible parking bays must be provided within the highway at a minimum ratio of 0.2 spaces per dwelling this equates to 1 visitor space being provided in this instance. It is considered that as there are three unallocated spaces, one of these could be used for visitors with the remaining spaces still exceeding the prevailing ratio requirement.

Objections have been raised in regards to the provision of parking in the form of garages. Whilst the Cotswold District Council Parking Standards Review Parking Guidance Note 2016 recognises that garages are often not used for parking. The guidance indicates that should be considered on a scheme by scheme basis, based on the following factors:

- The availability of alternative spaces, including on-street parking, where this is limited residents are more likely to park in their garages;
- The availability of separate cycle parking and general storage capacity, garages are often used for storing bicycles and other household items; and
- The size of the garage, larger garages can be used for both storage and car parking, with many authorities recommending a size of 6m by 3m.

The sizes of the garages are 6m by 3m which gives the option of some storage alongside an average car. The proposal also provides separate cycle parking and three of the garages are located separately from the dwellings so are less likely to be used to store other household items. It is therefore considered that the mix of garages and parking spaces is acceptable.

Concerns have been raised in regards to the lack of parking for the proposal resulting in residents parking along Lower Swell Road and the impact this may have upon the Highways Network, in particular the junction with the Fosse way. Whilst the Highways Authority has not objected to the proposal on this matter, it should be noted that County Councillor Nigel is seeking a Traffic Regulation Order for double yellow lines along the road to the junction. For clarity, however, the parking restriction is not a requirement in the planning considerations of this application and was not required by the Appeal Inspector in the assessment of the 2016 scheme.

(e) Biodiversity

Paragraph 109 of the NPPF states that the planning system should contribute to and enhance the natural and local environment by minimising impacts on biodiversity.

Policy 9 (Biodiversity, Geology and Geomorphology) of the Local Plan seeks to prohibit development that would harm international, national and local sites, and legally protected species.

The Biodiversity officer has reviewed the Ecological Appraisal report dated September 2017 prepared by All Ecology and confirmed that no further surveys or assessments are required. The buildings have negligible potential for roosting bats and no evidence of nesting birds was recorded. The site overall has limited ecological value due to a lack of features, including limited vegetation. The overgrown *Leylandii* hedgerow along the northern boundary has some potential for nesting birds (e.g. woodpigeon or collared dove), but the remainder of the site has low ecological value. The proposed development therefore provides an opportunity for significant biodiversity enhancement. The recommendations of the Ecological Appraisal report include the provision of bird and bat boxes, native planting in the landscaping scheme (particularly for nesting birds) and precautionary clearance of vegetation with nesting birds in mind. The landscaping scheme submitted with the application includes a Beech hedgerow along the western boundary of the site, but this should be enhanced to incorporate other native species such as Holly, Hazel, Hawthorn, Field maple and Wild privet. An amended landscaping scheme should therefore be submitted for approval by condition.

(f) Landscaping

Policy 45 (Landscaping) of the existing Local Plan requires high standards of appropriate landscaping in all developments and any attractive, existing landscape features, such as trees, hedgerows and other wildlife habitats should be retained and integrated into all landscaping schemes.

The use of natural stone low walling to the frontage is welcomed and it is considered that this will help to reinforce the local distinctiveness of the Cotswold District. The submitted Landscape Proposals Plan (17-57-PL-201 Rev. 0) indicates that ornamental planting will be incorporated to the front gardens of plots 1-5. The planting proposed is shade tolerant and would be acceptable in this location.

9. Conclusion:

Overall, it is considered that the size, scale, mass and design of the proposal are acceptable and would not have an adverse impact on the surrounding area and character and appearance of the AONB and Conservation Area, neighbouring amenity or highways network. As such the proposed development is considered to accord with the policies within the Cotswold District Local Plan, together with the NPPF and it is recommended that planning permission be granted subject to conditions.

10. Proposed conditions:

The development shall be started by 3 years from the date of this decision notice.

Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

The development hereby approved shall be implemented in accordance with the following drawing number(s): .

Reason: For purposes of clarity and for the avoidance of doubt, in accordance with paragraphs 203 and 206 of the National Planning Policy Framework.

Prior to the construction of any external wall of the development hereby approved, a sample panel of walling of at least one metre square in size showing the proposed stone colour, coursing, bonding, treatment of corners, method of pointing and mix and colour of mortar shall be erected on the site and subsequently approved in writing by the Local Planning Authority and the walls shall be constructed only in the same way as the approved panel. The panel shall be retained on site until the completion of the development.

Reason: To ensure that in accordance with Cotswold District Local Plan Policy 42, the development will be constructed of materials of a type, colour, texture and quality and in a manner appropriate to the site and its surroundings. Retention of the sample panel on site during the work will help to ensure consistency.

No windows, doors, dormers, chimney, eaves, verges, ridges, rain water goods, roof-lights shall be installed/inserted/constructed in the development hereby approved, until their design and details have been submitted to and approved in writing by the Local Planning Authority.

The design and details shall be accompanied by drawings to a minimum scale of 1:5 with full size moulding cross section profiles, elevations and sections. The development shall only be carried out in accordance with the approved details and retained as such at all times.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy 42.

Prior to the first occupation of the development hereby permitted, the windows , shall be ** in a colour to be first submitted to and approved in writing by the Local Planning Authority and shall thereafter be permanently retained in the approved colour unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan **.

The new rooflight(s) shall be of a design which, when installed, shall not project forward of the roof slope in which the rooflight(s) is/are located and shall be permanently retained as such thereafter.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan.

Prior to occupation of the dwelling hereby approved, an amended landscaping scheme shall be submitted to and approved in writing by the Local Planning Authority, including biodiversity enhancement to the western boundary hedgerow (e.g. incorporating other native species such as holly, hawthorn and wild privet) and a 5-year maintenance plan. The scheme must show the location, size and condition of all existing trees and hedgerows on and adjoining the land and identify those to be retained, together with measures for their protection during construction work.

It must show details of all planting areas, tree and plant species, numbers and planting sizes. The proposed means of enclosure and screening should also be included, together with details of any mounding, walls and fences and hard surface materials to be used throughout the proposed development.

The entire landscaping scheme shall be completed by the end of the planting season immediately following the completion of the development or the site being brought into use, whichever is the sooner.

Reason: To enhance the site for biodiversity in accordance with paragraph 118 of the National Planning Policy Framework, Policy 9 of the Cotswold District Local Plan 2001-2011 and Policy EN8 of the emerging Local Plan 2011-2031, and in order for the Council to comply with Section 40 of the Natural Environment and Rural Communities Act 2006.

Any trees or plants shown on the approved landscaping scheme to be planted or retained that die, are removed, are damaged or become diseased, or grassed areas that become eroded or damaged, within 5 years of the completion of the approved landscaping scheme, shall be replaced by the end of the next planting season. Replacement trees and plants shall be of the same size and species as those lost, unless the Local Planning Authority approves alternatives in writing.

Reason: To ensure the successful establishment of the landscaping and biodiversity enhancements (e.g. habitat creation).

The development shall be completed in accordance with the recommendations in Section 4 of the Ecological Appraisal report dated September 2017 prepared by All Ecology. All the recommendations shall be implemented in full according to the specified timescales, unless otherwise agreed in writing by the LPA, and thereafter permanently retained.

Reason: To ensure that nesting birds are protected in accordance with the Wildlife and Countryside Act 1981 as amended, Circular 06/2005, the National Planning Policy Framework (in particular section 11), Policy 9 of the Cotswold District Local Plan 2001-2011 and Policy EN8 of the emerging Local Plan 2011-2031, and in order for the Council to comply with Part 3 of the Natural Environment and Rural Communities Act 2006.

Before development takes place, details of the provision of bat roosting features and nesting opportunities for birds (e.g. House martin, House sparrow, Starling and Swift) into the new buildings shall be submitted to the local planning authority for approval, including technical drawing(s) showing the types of features and their locations and positions within the development.

The approved details shall be implemented before the dwellings hereby approved are first occupied, and thereafter permanently retained.

Reason: To provide additional roosting for bats and nesting birds as a biodiversity enhancement, in accordance with paragraph 118 of the National Planning Policy Framework, Policy 9 of the Cotswold District Local Plan 2011 and Policy EN8 of the emerging Local Plan 2031, and Section 40 of the Natural Environment and Rural Communities Act 2006

No development shall take place until a desk study has been produced to assess the nature and extent of any contamination, whether or not it originated on site, the report must include a risk assessment of potential source-pathway-receptor linkages. If potential pollutant linkages are identified, a site investigation of the nature and extent of contamination must be carried out in accordance with a methodology which has previously been submitted to and approved in writing by the local planning authority. The results of the site investigation shall be made available to the local planning authority before any development begins. If any significant contamination is found during the site investigation, a Remediation Scheme specifying the measures to be taken to remediate the site to render it suitable for the development hereby permitted shall be submitted to and approved in writing by the Local Planning Authority before any development begins.

Reason: To ensure any contamination of the site is identified and appropriately remediated in accordance with Cotswold District Local Plan Policy 5 and Section 11 of the NPPF.

The Remediation Scheme, as agreed in writing by the Local Planning Authority, shall be fully implemented in accordance with the approved timetable of works and before the development hereby permitted is first occupied. Any variation to the scheme shall be agreed in writing with the Local Planning Authority in advance of works being undertaken. On completion of the works the developer shall submit to the Local Planning Authority written confirmation that all works were completed in accordance with the agreed details.

If, during the course of development, any contamination is found which has not been identified in the site investigation, additional measures for the remediation of this contamination shall be submitted to and approved in writing by the local planning authority. The remediation of the site shall incorporate the approved additional measures.

Reason: To ensure any contamination of the site is identified and appropriately remediated in accordance with Cotswold District Local Plan Policy 5 and Section 11 of the NPPF.

No development shall take place, including any works of demolition, until a Construction Method Statement has been submitted to, and approved in writing by, the local planning authority. The approved Statement shall be adhered to throughout the construction period. The Statement shall:

- i. specify the type and number of vehicles;
- ii. provide for the parking of vehicles of site operatives and visitors;
- iii. provide for the loading and unloading of plant and materials;
- iv. provide for the storage of plant and materials used in constructing the development;
- v. provide for wheel washing facilities;
- vi. specify the intended hours of construction operations;
- vii. specify measures to control the emission of dust and dirt during construction

Reason: To reduce the potential impact on the public highway and accommodate the efficient delivery of goods and supplies in accordance paragraph 35 of the National Planning Policy Framework.

The vehicular access hereby permitted shall not be brought into use until the existing roadside frontage boundaries have been set back to provide visibility splays extending from a point 2.4m back along the centre of the access measured from the public road carriageway edge (the X point) to a point on the nearer carriageway edge of the public road 54m distant in both directions (the Y points). The area between those splays and the carriageway shall be reduced in level and thereafter maintained so as to provide clear visibility between 1.05m and 2.0m at the X point and between 0.26m and 2.0m at the Y point above the adjacent carriageway level.

Reason: To reduce potential highway impact by ensuring that adequate visibility is provided and maintained and to ensure that a safe, suitable and secure means of access for all people that minimises the conflict between traffic and cyclists and pedestrians is provided in accordance with the National Planning Policy Framework.

The buildings hereby permitted shall not be occupied until the vehicular parking and turning facilities have been provided in accordance with the submitted plan drawing no. RP-010-04 and those facilities shall be maintained available for those purposes thereafter.

Reason: To ensure that a safe, suitable and secure means of access for all people that minimises the conflict between traffic and cyclists and pedestrians is provided in accordance with the National Planning Policy Framework.

No building on the development shall be occupied until the carriageway(s) (including surface water drainage/disposal, vehicular turning head(s) and street lighting) providing access from the nearest public highway to that dwelling have been completed to at least binder course level and the footway(s) to surface course level.

Reason: To minimise hazards and inconvenience for users of the development by ensuring that there is a safe, suitable and secure means of access for all people that minimises the conflict between traffic and cyclists and pedestrians in accordance with the National Planning Policy Framework.

No development shall be commenced until details of the proposed arrangements for future management and maintenance of the proposed streets within the development have been submitted to and approved in writing by the local planning authority. The streets shall thereafter be maintained in accordance with the approved management and maintenance details until such time as either a dedication agreement has been entered into or a private management and maintenance company has been established.

Reason: To ensure that safe, suitable and secure access is achieved and maintained for all people that minimises the conflict between traffic and cyclists and pedestrians in accordance with the National Planning Policy Framework Framework and to establish and maintain a strong sense of place to create attractive and comfortable places to live, work and visit as required by paragraph 58 of the Framework.

Prior to the occupation of the dwellings hereby permitted the site shall be laid out and constructed in accordance with the submitted plan RP-010-05, and the area of driveway within at least 10m of the carriageway edge of the public road surfaced in bound material, and shall be maintained thereafter.

Reason: To reduce potential highway impact by ensuring that a safe and secure access is laid out and constructed that minimises the conflict between traffic and cyclists and pedestrians in accordance with paragraph 35 of the National Planning Policy Framework.

No development shall commence on site until a scheme has been submitted to, and agreed in writing by the Council, for the provision of fire hydrants (served by mains water supply) and no dwelling shall be occupied until the hydrant serving that property has been provided to the satisfaction of the Council.

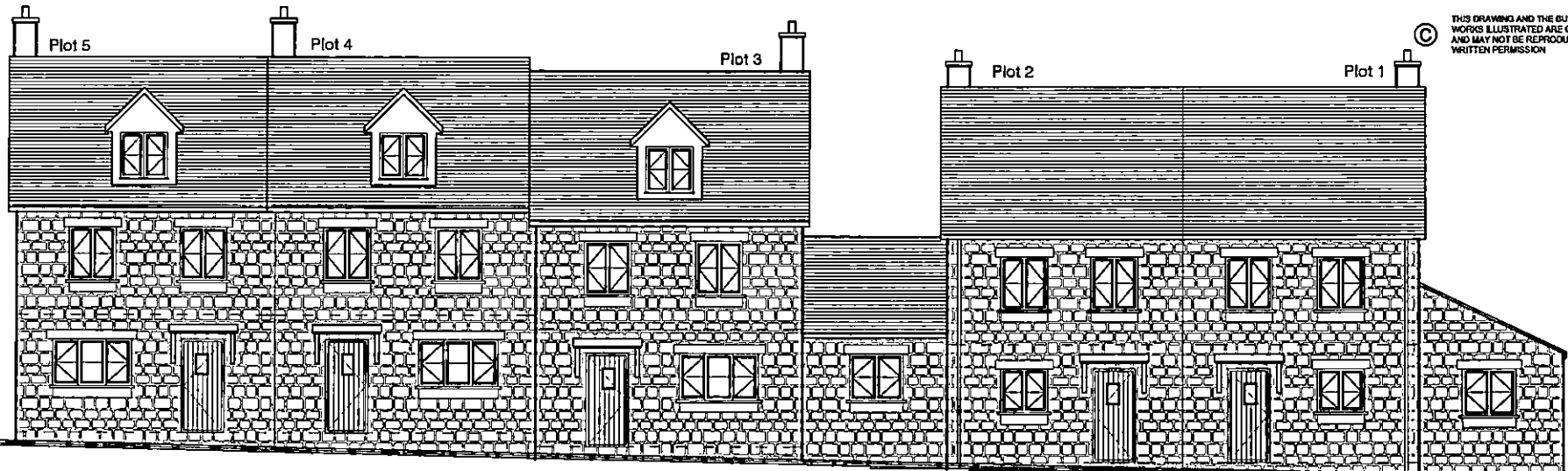
Reason: To ensure adequate water infrastructure provision is made on site for the local fire service to tackle any property fire.

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015, or any other statutory instrument amending or replacing it, no , shall be erected, constructed or sited in the **, other than those permitted by this Decision Notice.

Reason: (**), in accordance with Cotswold District Local Plan **.

BEFORE COMMENCEMENT OF ANY WORKS THE CONTRACTOR MUST CHECK AND VERIFY ALL BUILDING, SITE DIMENSIONS AND LEVELS, ALL RELEVANT SEWER OUTFALLS, INVERT LEVELS, AND CONNECTION POINTS

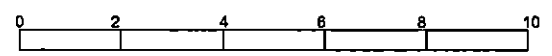
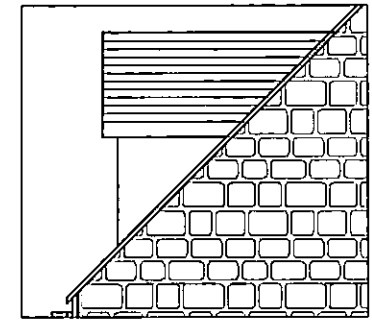
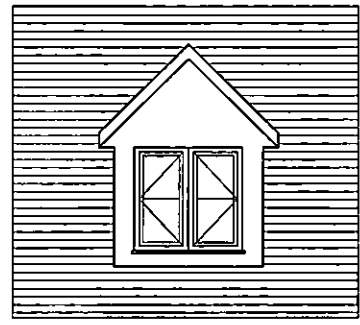
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Elevation 1

- Materials-**
- Walls to be natural cotswold stone with stone details, heads and cills
 - Roof to be cotswold reconstituted slate in diminishing courses
 - Windows to be Timber flush casement recessed by 75mm colour RAL 1015 light ivory
 - External doors- Timber colour RAL 1015 light ivory
 - Garage door- vertical boarded timber, side hinged


Dormer to be traditional in construction with materials being recon slate to match roof with rendered cheeks and front around timber window frame, with code 4 lead to flashing and valleys to roof



7 Plots at
Lower Swell Road
Stow on the Wold

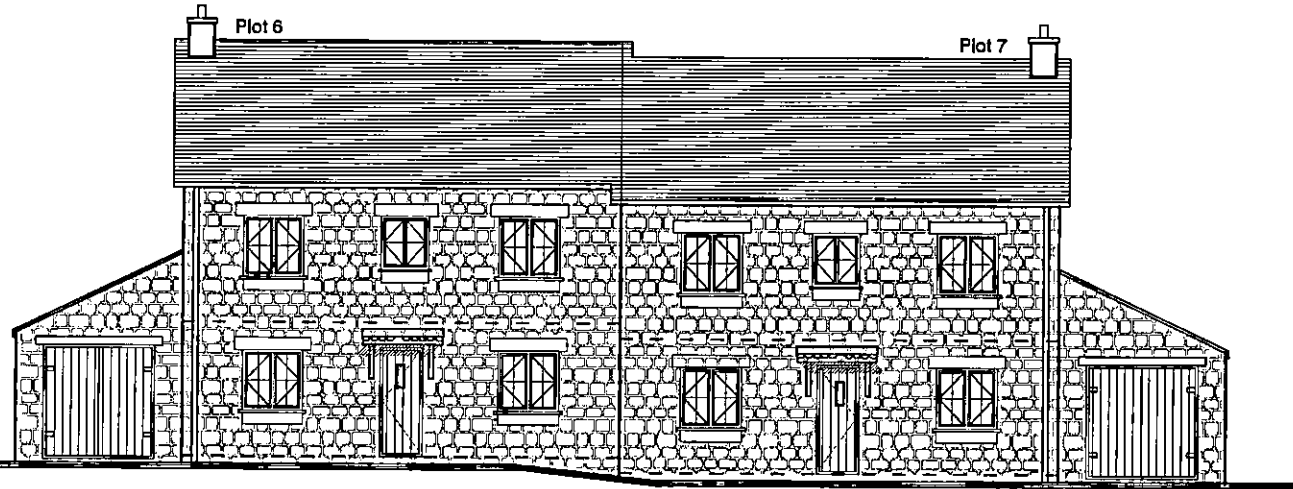
Plot 1-5 Front Elevations

Project:-
Proposed Development at
Stow Agricultural, Lower Swell Rd,
Stow on the Wold GL54 1JX
Drawing Title:-
Elevations Plots 1-5
Scale:-
1:100 @ A3
Client:-
Mr R Perrill

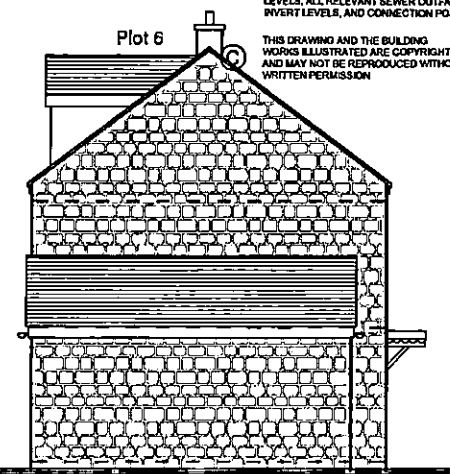
 <p>ELEVATION ONE BUILDING DESIGN LTD 25 WILEY ROAD PARSLEY, GLAS, GL11 4NJ Tel: 01453 541255 Mob 07515 017774 email: e1@elevationone.co.uk web: www.elevationone.co.uk</p>	
Project No:- RP-010	Drawing No:- 06
Date:- Jan 18	Revision:- -

BEFORE COMMENCEMENT OF ANY WORKS THE CONTRACTOR MUST CHECK AND VERIFY ALL BUILDING, SITE DIMENSIONS AND LEVELS, ALL RELEVANT SEWER OUTFALLS, INVERT LEVELS, AND CONNECTION POINTS

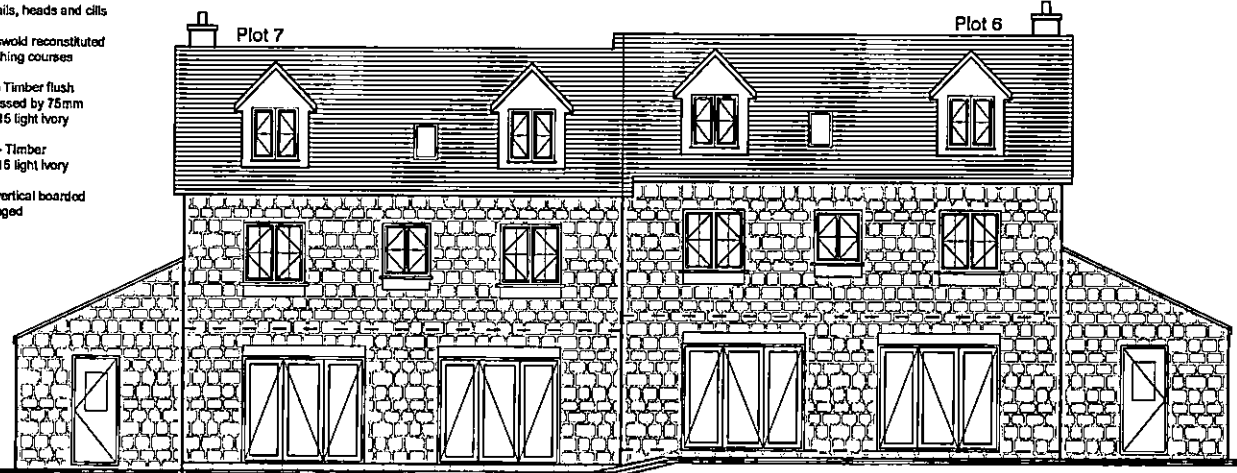
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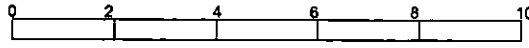
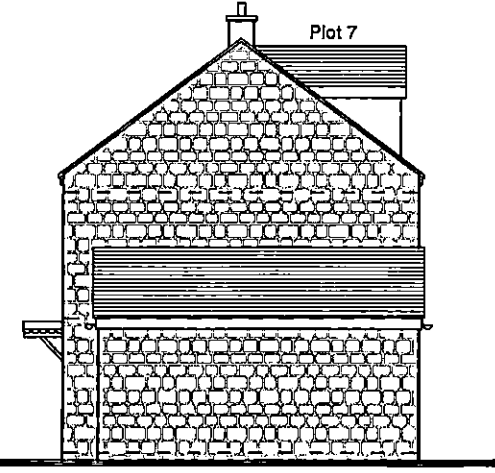
Elevation 3



- Materials-**
- Walls to be natural ootswold stone with stone details, heads and cills
 - Roof to be ootswold reconstituted slate in diminishing courses
 - Windows to be Timber flush casement recessed by 75mm colour RAL 1015 light ivory
 - External doors- Timber colour RAL 1015 light ivory
 - Garage door- vertical boarded timber, side hinged




Elevation 4



7 Plots at
Lower Swell Road
Stow on the Wold

Plot 6 & 7
Elevations

Project-
Proposed Development at
Stow Agricultural, Lower Swell Rd,
Stow on the Wold GL54 1JX
Drawing Title:-
Elevations Plot 6 & 7
Scale:-
1:100@ A3
Client:-
Mr R Perrill

 <p>ELEVATION ONE BUILDING DESIGN LTD 25 WILEY ROAD BURESBY, GLAS, GL11 4NJ Tel: 01453 240255 Mob: 07525 027724 email: e1@elevationone.co.uk web: www.elevationone.co.uk</p>	
Project No:- RP-010	Drawing No:- 08
Date:- Jan 18	Revision:- -



REVISIONS		
No.	Date	By
A	Drawings amended according to client's comments	23 Jan 2015 JMS
B	Scheme updated in accordance with client's requirements and responding to planning officers comments	17 Sept 2015 JMS
C	Scheme updated in accordance with client's requirements and responding to planning officers comments	28 Oct 2015 JMS



ALL DIMENSIONS TO BE CHECKED ON SITE
 SCALE TO MATCH DRAWING ONLY
 BEFORE PROCEEDING TO CONSTRUCTION AT ONCE BY FORM PROVISION

Client

McCarthy & Stone
 Lower Lico, Clontarf, Co. Dub.

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Project Title
 Proposed Retirement Living Development
 Lower Swell Road
 Stow on the Wold

Drawing Title
 Planning
 Site Plan

Scale: 1:200@A1	Date: Sept 13
Drawn: JMS	Checked:
Drawing No:	No:
1940/1/04	C

CAD plot date: 26 Oct 2015 11:26am

56

1:200@ A1 SCALE

PREVIOUS APPLICATION 14/00188/FUL - ALLOWED AT APPEAL



P4, Car Parking Courtyard



P5, Southern View Of The Development



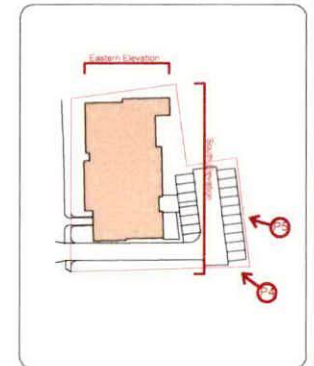
Southern Elevation

1:100@ A1 SCALE

0m 1m 2m 4m 6m 8m 10m 15m



REVISIONS		
No.	Date	By
A	Drawings amended according to client's comments	23 Jan 2015 JMS
B	Scheme updated in accordance with planning officers comments	17 Sept 2015 JMS
C	Scheme updated in response to planning officers comments	04 Nov 2015 JMS/BSA



Aerial View Of The Development



Eastern Elevation

ALL DIMENSIONS TO BE CHECKED ON SITE
 WORK TO BE DONE IN ACCORDANCE WITH THE
 RELEVANT BUILDING REGULATIONS AND
 SUBJECT TO THE NECESSARY
 APPROVALS



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Project Title
 Proposed Retirement Living Development
 Lower Gavel Road
 Stow on the Wold

Drawing Title
 Planning
 Elevations & Perspective Views
 Sheet 2 of 2

Scale: 1:100@A1	Date: Sept 15
Drawn: JMS/BSA	Checked:
Drawing No.: 1940/2/03	Rev.: C

CAD plot date: 19/09/15

PREVIOUS APPLICATION 14/001881FUL - ALLOWED AT APPEAL